



# Development Variance Permit Application

Referral Form – RDCK File V2313B

Date: January 10, 2024

You are requested to comment on the attached DEVELOPMENT VARIANCE PERMIT for potential effect on your agency’s interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO February 10, 2024). If no response is received within that time, it will be assumed that your agency’s interests are unaffected.

**LEGAL DESCRIPTION & GENERAL LOCATION:**

6579 Meadow Wood Road, Kitchener, Electoral Area ‘B’  
LOT 24 PLAN NEP61907 DISTRICT LOT 4592 KOOTENAY LAND DISTRICT (PID 024-155-004)

**PRESENT USE AND PURPOSE OF PERMIT REQUESTED:**

The subject property is located in a residential area of Kitchener. There is currently a residence and two existing accessory structures.

The proposal is to remove an existing storage structure 39 m<sup>2</sup> in size, and to construct a new accessory structure. This Development Variance Permit (DVP) seeks to vary Section 18.9 under the Country Residential (R2) Zone of the *Electoral Area ‘B’ Comprehensive Land Use Bylaw No. 2316, 2013*. The applicant is requesting to increase the maximum permitted gross floor area of an accessory building from 200 m<sup>2</sup> to 255.7 m<sup>2</sup> to permit the construction of an accessory building for a workshop use (196.2 m<sup>2</sup> in area ) and attached carport (59.5 m<sup>2</sup> in size) for RV storage.

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING	OCP
1.0 hectare	n/a	Country Residential (R2)	Country Residential (RC)

**AGENT:**

Theo Stavinga

**OTHER INFORMATION: ADVISORY PLANNING & HERITAGE COMMISSION PLEASE NOTE:**

If your Advisory Planning & Heritage Commission plans to hold a meeting to discuss this Development Permit application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows:

*“If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard.”*

Please fill out the Response Summary on the back of this form. If your agency’s interests are ‘Unaffected’ no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.

STEPHANIE JOHNSON, PLANNER  
REGIONAL DISTRICT OF CENTRAL KOOTENAY

- MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
- HABITAT BRANCH (Environment)
- FRONTCOUNTER BC (MFLNRORD)
- AGRICULTURAL LAND COMMISSION
- REGIONAL AGROLOGIST
- ENERGY & MINES
- MUNICIPAL AFFAIRS & HOUSING

- REGIONAL DISTRICT OF CENTRAL KOOTENAY  
DIRECTORS FOR:
- A  B  C  D  E  F  G  H  I  J  K
- ALTERNATIVE DIRECTORS FOR:
- A  B  C  D  E  F  G  H  I  J  K
- APHC AREA B
  - RDCK FIRE SERVICES
  - RDCK EMERGENCY SERVICES

- INTERIOR HEALTH, HBE TEAM
- KOOTENAY LAKES PARTNERSHIP  
(FORESHORE DEVELOPMENT PERMITS)
- SCHOOL DISTRICT NO.
- WATER SYSTEM OR IRRIGATION DISTRICT
- UTILITIES (FORTIS, BC HYDRO, NELSON  
HYDRO, COLUMBIA POWER)

- RDCK BUILDING SERVICES
- RDCK UTILITY SERVICES
- RDCK RESOURCE RECOVERY
- RDCK REGIONAL PARKS

INSERT COMMENTS ON REVERSE . . .

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), [info@rdck.bc.ca](mailto:info@rdck.bc.ca), or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

**RESPONSE SUMMARY**  
**FILE: V2313B APPLICANT: THEO STAVINGA**

**Name:**

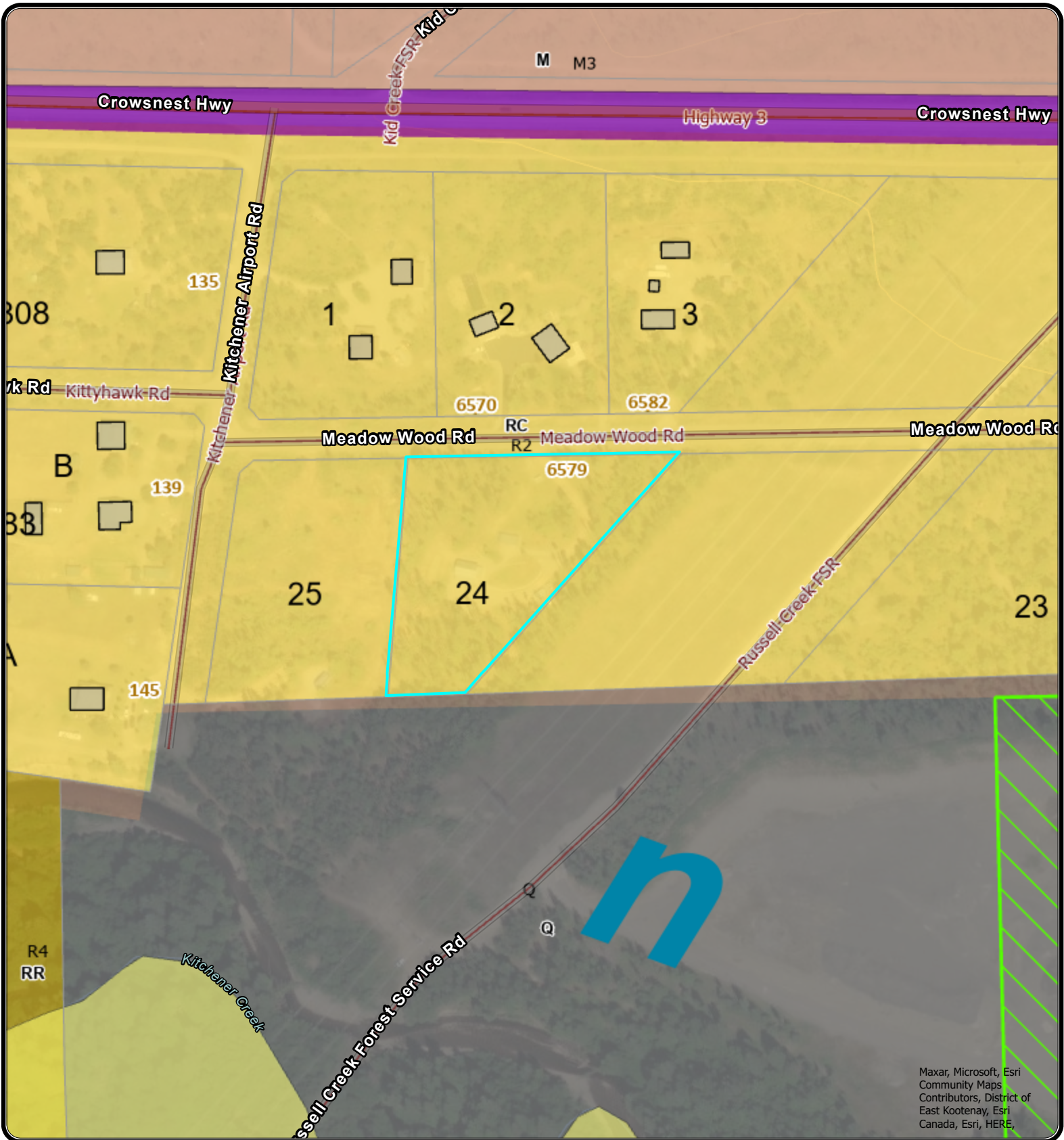
**Date:**

**Agency:**

**Title:**

RETURN TO: STEPHANIE JOHNSON, PLANNER  
DEVELOPMENT AND COMMUNITY SUSTAINABILITY SERVICES  
REGIONAL DISTRICT OF CENTRAL KOOTENAY  
BOX 590, 202 LAKESIDE DRIVE  
NELSON, BC V1L 5R4  
Ph. 250-352-1585  
Email: [plandept@rdck.bc.ca](mailto:plandept@rdck.bc.ca)

# V2313B-Stavinga



Maxar, Microsoft, Esri  
Community Maps  
Contributors, District of  
East Kootenay, Esri  
Canada, Esri, HERE,



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
Box 590, 202 Lakeside Drive,  
Nelson, BC V1L 5R4  
Phone: 1-800-268-7325 www.rdck.bc.ca  
maps@rdck.bc.ca

### Official Community Plan

- Country Residential
- Industrial
- Resource Area
- Rural Residential
- Building Footprints

- Legend**
- Non Standard Flooding Erosion Area
  - Zoning Class**
  - Industrial
  - Quarry
  - Residential 2
  - Residential 4
  - Agriculture Land Reserve

- 20 Meter Contours**
- 20 meter
- Streams and Shorelines
- Electoral Areas
- RDCK Streets
- Cadastre
- Address Points

### Map Scale:

1:2,500

Date: November 14, 2023



**The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.**



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Community Maps  
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**Legend**

- Electoral Areas
- RDCK Streets
- Cadastre
- Address Points
- 20 meter
- Streams and Shorelines

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To: Whom it may concern

The proposed development variance permit we are seeking is an extended carport to our approved shop building. We would like to have this carport to provide a covered shelter for our RV in the winter months to extend the life of the RVs roof the existing approved carport on the shop will be use for outdoor amenities, such as our hot tub and a covered sitting area.

We have discuss this new carport with our neighbours on the north and the west they can visually see it and neither of them have any issues with the structure. The trees on the east side will not be touched so we see no negative impact on this request for variance in anyway.

Thank you in advance for your consideration for our project.

Theo and Nadine Stavinga



6579 MEADOW WOOD ROAD,  
 KITCHENER  
 LOT 24  
 R2 - COUNTRY RESIDENTIAL  
 PLAN - NEP61907  
 LAND DISTRICT - KOOTENAY  
 DISTRICT LOT - 4592  
 P.I.D. - 024-155-004  
 LOT AREA: 9995.735 sq.m. OR  
 2.47 acres OR 0.9995735 hectare  
 APPROX. LOT COVERAGE:  
 3.003%



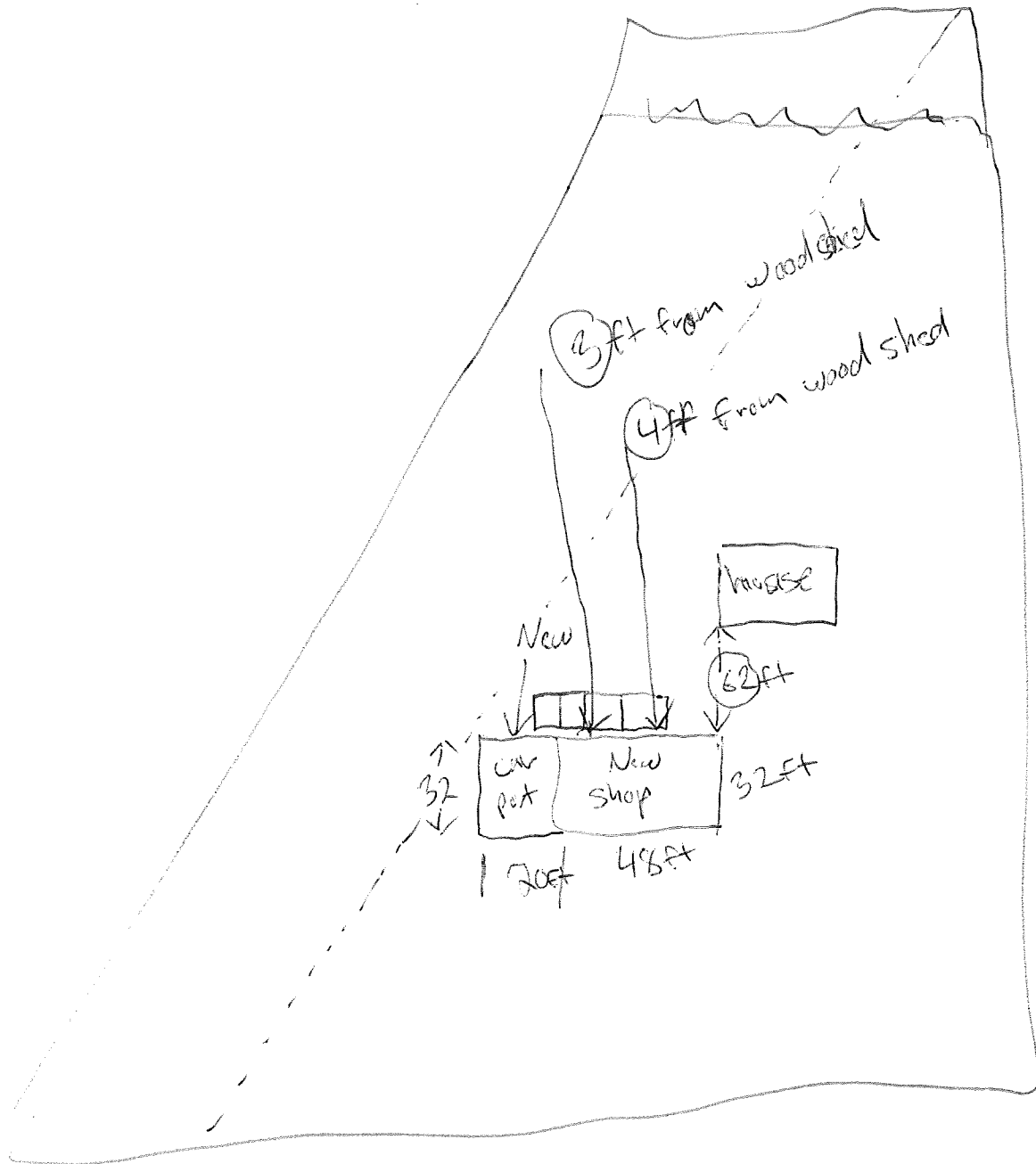
SITE DETAIL  
 1:500 SCALE

CLIENT: STAVINGA	ADDRESS: 6579 MEADOW WOOD ROAD, KITCHENER
LOT: 24	DISTRICT LOT: 4592
PRINT: 11"x17"	PLAN: NEP61907
SCALE: SEE PLANS	LAND DISTRICT: KOOTENAY
DRAWN: KJ	
REVISIONS	CUSTOMER APPROVAL
17AUG2023	X
10OCT2023	X
30OCT2023	
PAGE #	PLOT



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AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF THE DESIGNER \*





Highlighted area is proposed carport on east end.

- engineered truss by Trueline
- 6x6 posts
- 12" sono tube
- adequate base.

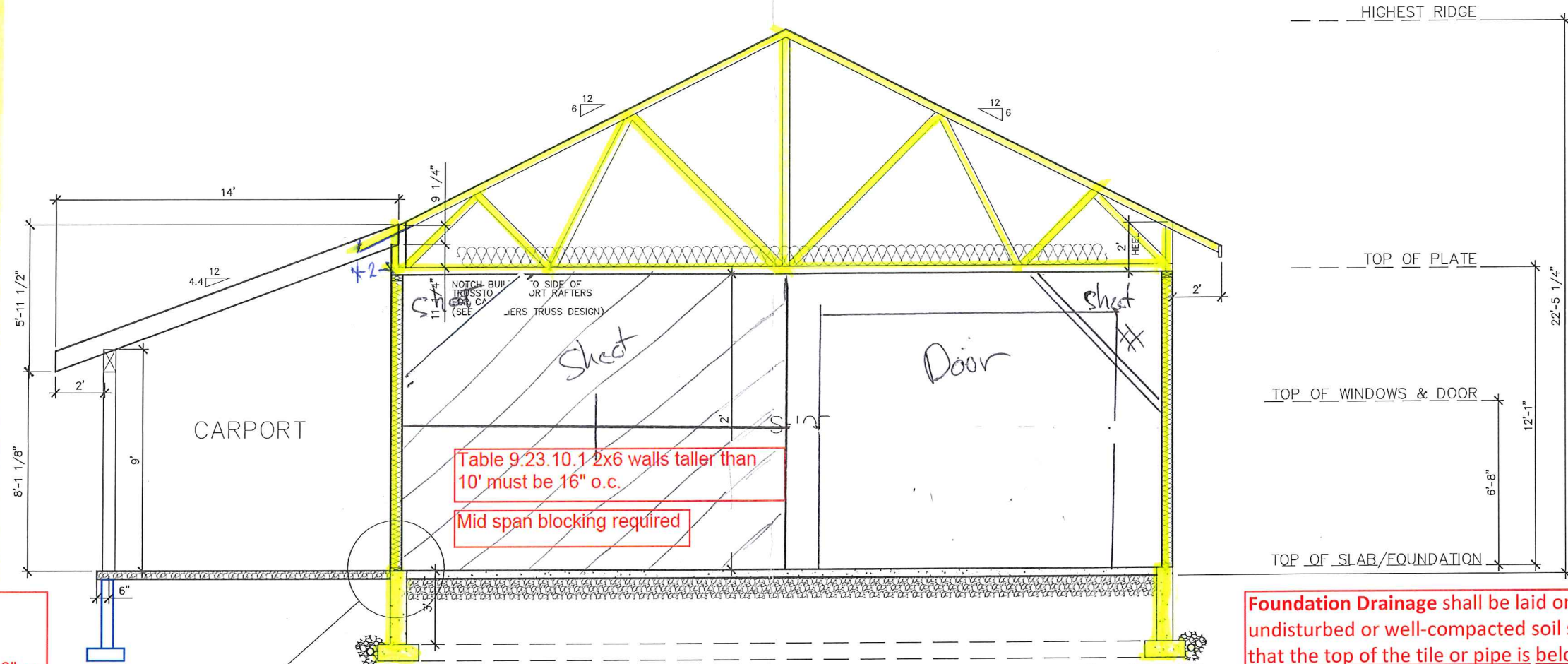
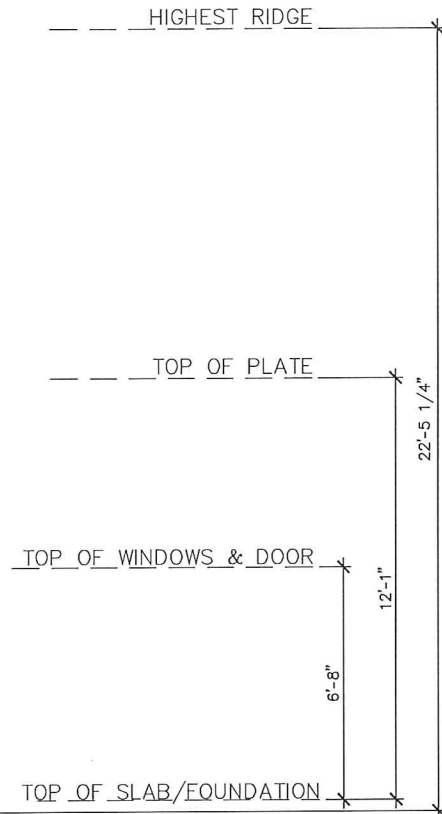


Table 9.23.10.1 2x6 walls taller than 10' must be 16" o.c.  
Mid span blocking required



Footings frost protection.  
Min depth below grade RDCK: 24"  
Areas with clay soil: 36"  
Column/Pad Footings: min 26"x26"x6" or min 28" dia. 'Big Foot' forms UNO.

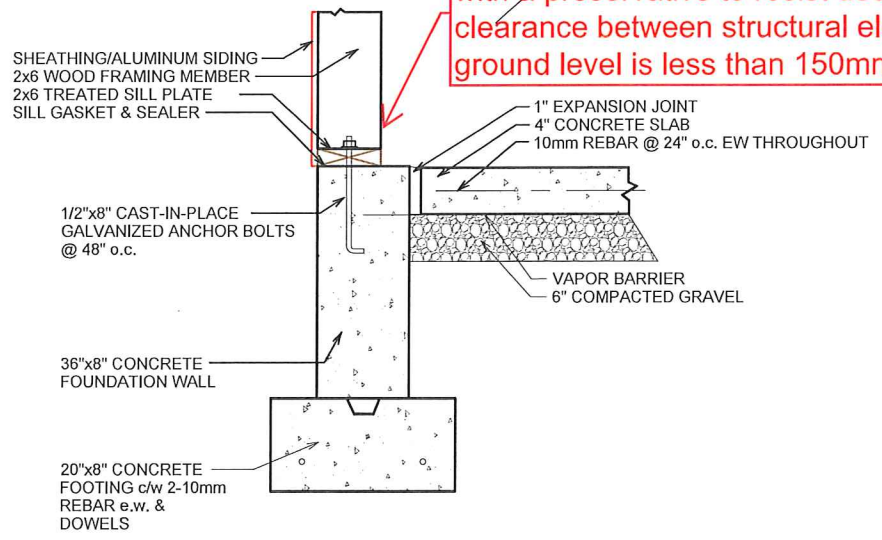
Foundation Drainage shall be laid on undisturbed or well-compacted soil so that the top of the tile or pipe is below the bottom of the floor slab. The tops and sides of the tile shall be covered with min. 6" (150mm) clean granular material.

SECTION A

All fasteners into treated lumber to be galvanized or ACQ.

9.3.2.9. Structural wood elements shall be pressure-treated with a preservative to resist decay, where the vertical clearance between structural elements and the finished ground level is less than 150mm

Min. attic access hatch size to be 21.5" x 36"



Concrete Slab at Garage Foundation

- ROOF CONSTRUCTION:
- WESTFORM ALLCLAD ROOFING
  - 2"x4" STRAPPING @ 24" o.c.
  - ENGINEERED APPROVED TRUSS SYSTEM @ MAX. 24" o.c. OR PER AS MANUFACTURERS LAYOUT AND SPECS.
  - R20 BLOWN IN FIBREGLASS INSULATION.
  - 6mil. POLY VAPOUR BARRIER, LAPPED & CAULKED.
  - WESTFORM WEATHERSHIELD 1 - LOW RIB METAL CLADDING
  - ATTIC ACCESS (INSULATED & WEATHER STRIPPED).
- NOTE: ROOF SPACE VENTED @ MIN. 1:300 RATIO.

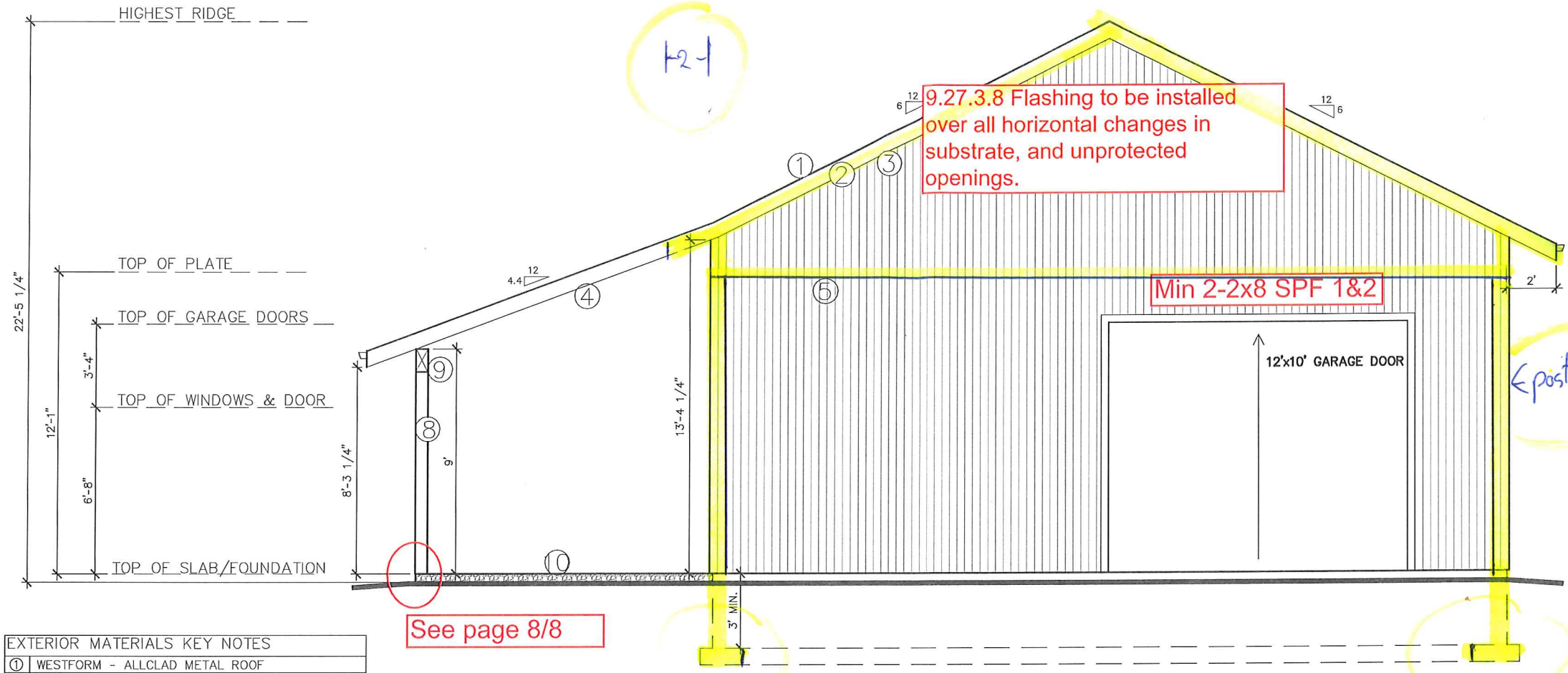
- CONCRETE EXTERIOR WALL:
- PARING ABOVE GRADE
  - BACKFILL
  - FOUNDATION WALL MEMBRANE APPLIED TO EXTERIOR SIDE OF WALL
  - 8"x36" CONCRETE WALL
  - 20"x8" FOOTING 32mPa c/w MIN. 2-#10M REBAR, 4" dia. WEEPING TILE (UNLESS SPECIFIED OTHERWISE) & 150mm DRAIN ROCK.

- EXTERIOR WALLS:
- WESTFORM ALLCLAD EXTERIOR METAL SIDING OR ROUGH CUT WOOD SIDING (SEE ELEVATION FOR LOCATIONS)
  - TYVEK BUILDING PAPER
  - 1/2" PLYWOOD SHEATHING.
  - 2x6 STUDS @ 16" o.c.
  - R24 INSULATION.
  - 6mil. POLY VAPOUR BARRIER, LAPPED & CAULKED.
  - WESTFORM WEATHERSHIELD 1 - LOW RIB ALUMINUM CLADDING

- SHOP SLAB:
- 4" CONC. SLAB
  - #10M REBAR @ 24"x24" o.c. EW THROUGHOUT
  - 6mil. POLY VAPOUR BARRIER.
  - MIN. 6" COMPACTED GRAVEL.
  - UNDISTURBED SOIL.



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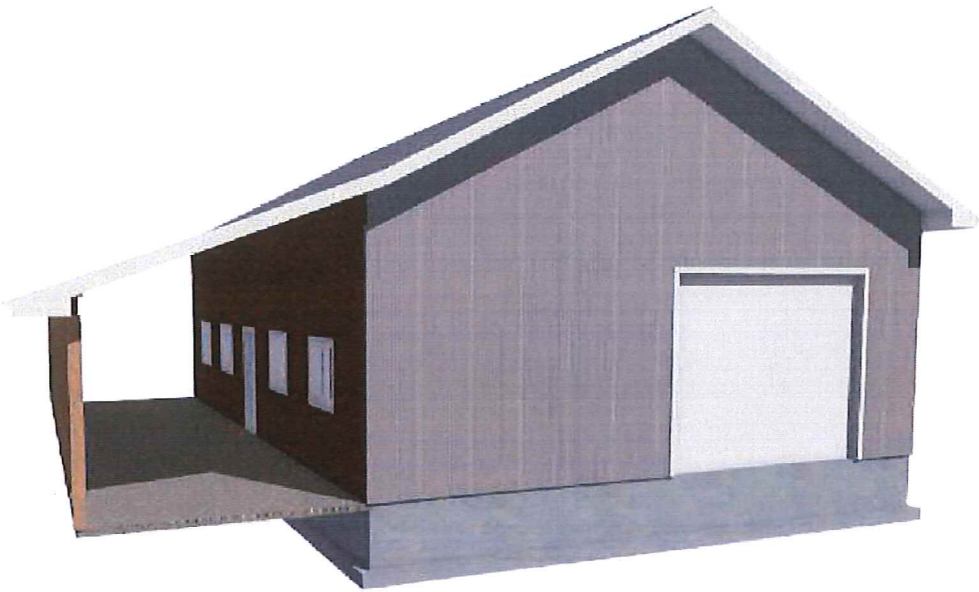
RIGHT ELEVATION

EXTERIOR MATERIALS KEY NOTES	
①	WESTFORM - ALLCLAD METAL ROOF
②	6" ALUM. FASCIA & EAVESTROUGH
③	ALUM. VENTED SOFFIT AND J-TRIM
④	EXPOSED RAFTER DETAIL IN CARPORT (NO SOFFIT)
⑤	WESTFORM - ALLCLAD SIDING
⑥	ROUGH SAWN WOOD SIDING
⑦	VINYL WINDOWS
⑧	6"x6" ROUGH SAWN POSTS w/ 6" POST SADDLES
⑨	6"x10" ROUGH SAWN DROPPED BEAM
⑩	GRAVEL

See page 8/8

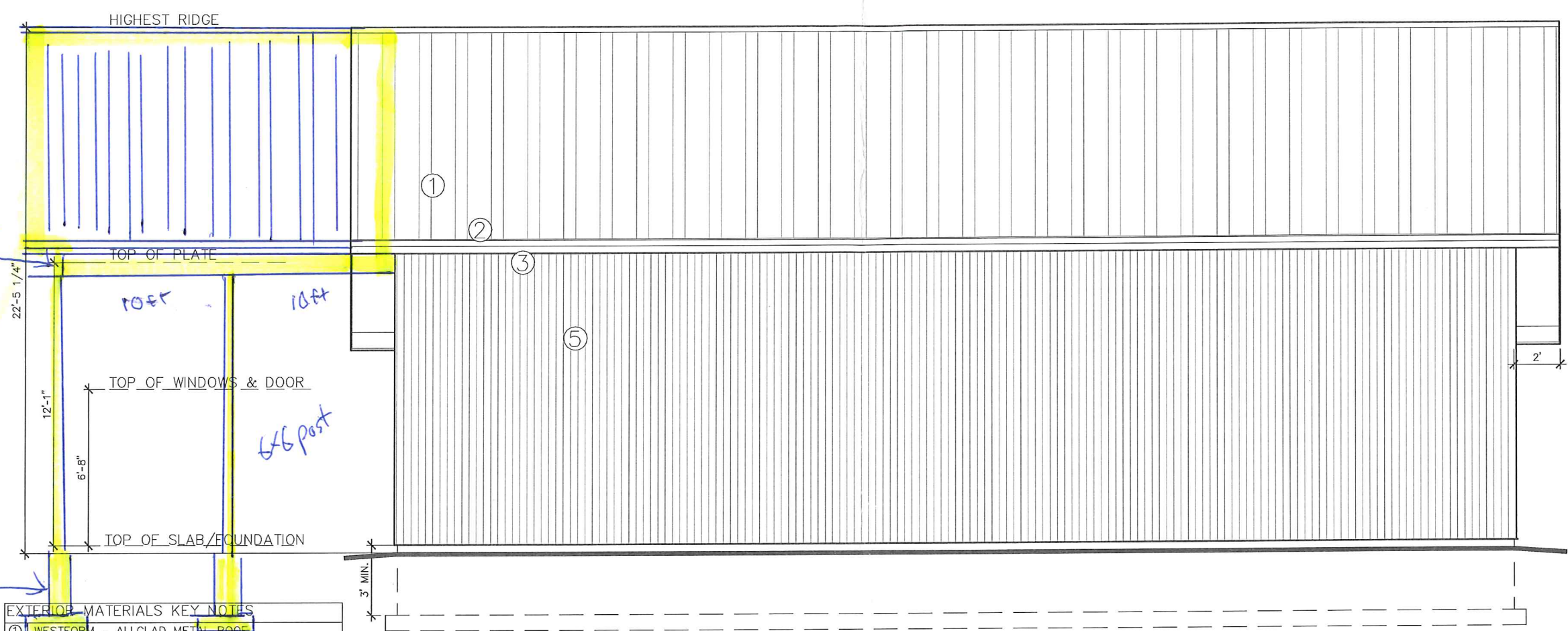
**East end carport in highlighted area**

- 2 foot overhang on right & left side
- 6x6 posts
- footings 12" sono tubes.
- With Base required



NOTE: RENDERS ARE FOR REFERENCE ONLY. REFER TO FINAL SPECS FOR EXTERIOR MATERIALS

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REAR ELEVATION

EXTERIOR MATERIALS KEY NOTES

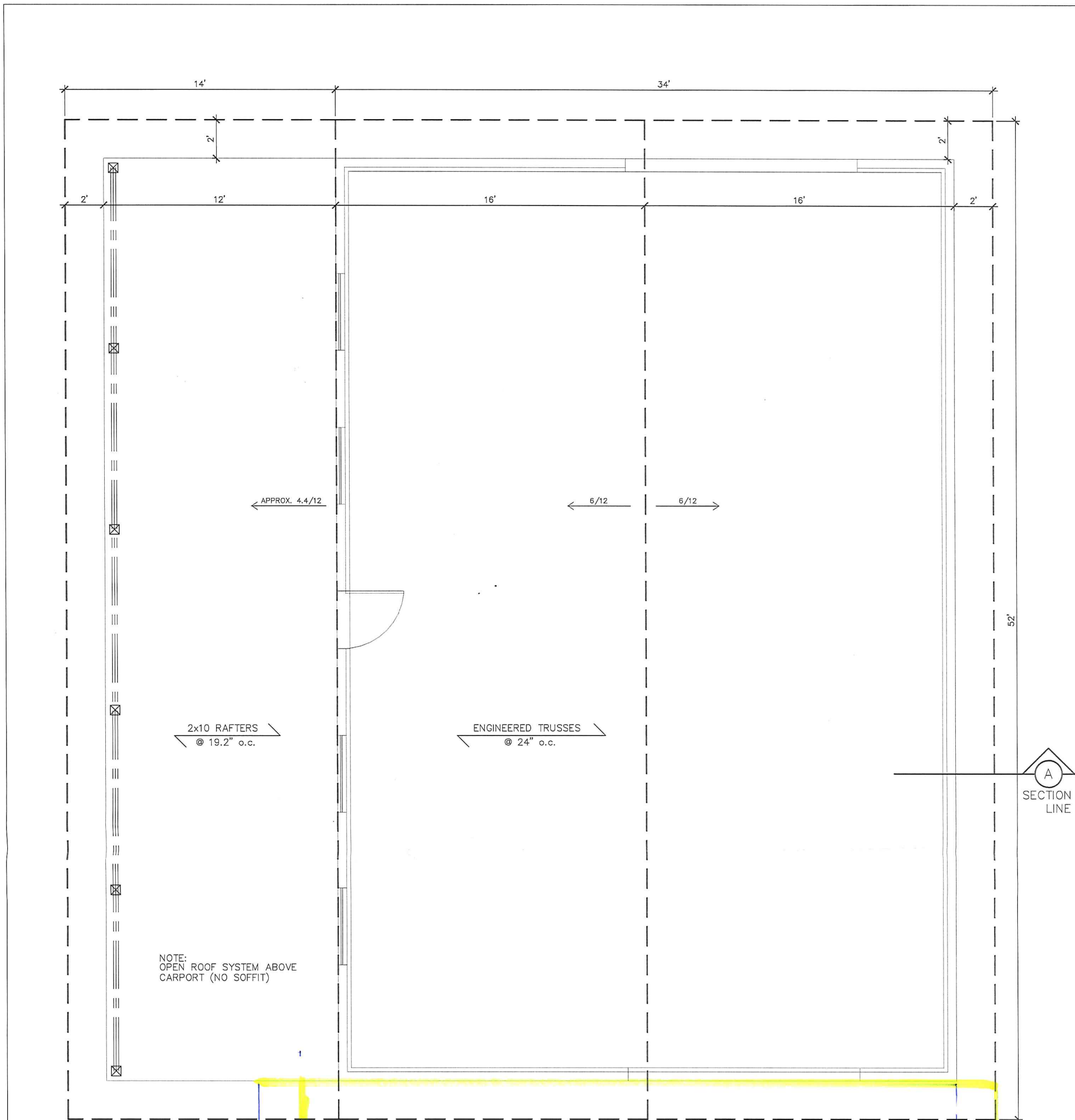
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• Rear view of proposed carport. 32 x 20.



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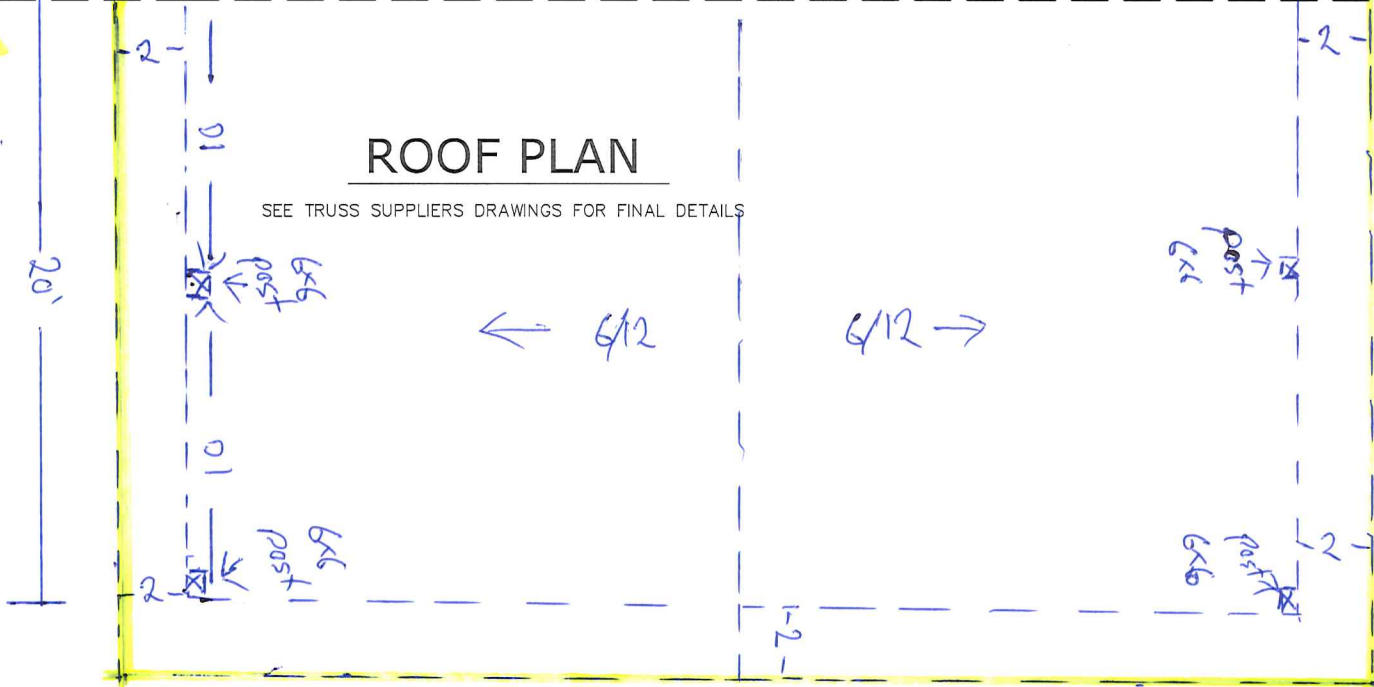




NOTE:  
OPEN ROOF SYSTEM ABOVE  
CARPORT (NO SOFFIT)

A  
SECTION  
LINE

32 x 20 CARPORT  
Highlighted area  
is addition to  
approved shop.  
Truss Specs  
provided



**ROOF PLAN**

SEE TRUSS SUPPLIERS DRAWINGS FOR FINAL DETAILS



CLIENT: T. STAVINGA ADDRESS: 6579 MEADOW WOOD ROAD, KITCHENER  
 SCALE: 3/16" = 1'-0" LOT: 24 TOTAL: 1536 SQ.FT. CARPORT: 576 SQ.FT.  
 DRAWN: KFJ PLAN: NEP61907 SLAB: 1450 SQ.FT.  
 PRINT: 11"x17" PAPER LAND DISTRICT: KOOTENAY DISTRICT LOT: 4592

REVISIONS  
16AUG2023

PAGE #  
**7/8**

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